

Town of Dover Community Center

VE Items -
Bid Changes for Re-bidding
Documents

Feb. 01, 2023

Community Center Schedule

Drawing issue / Bidding Schedule:

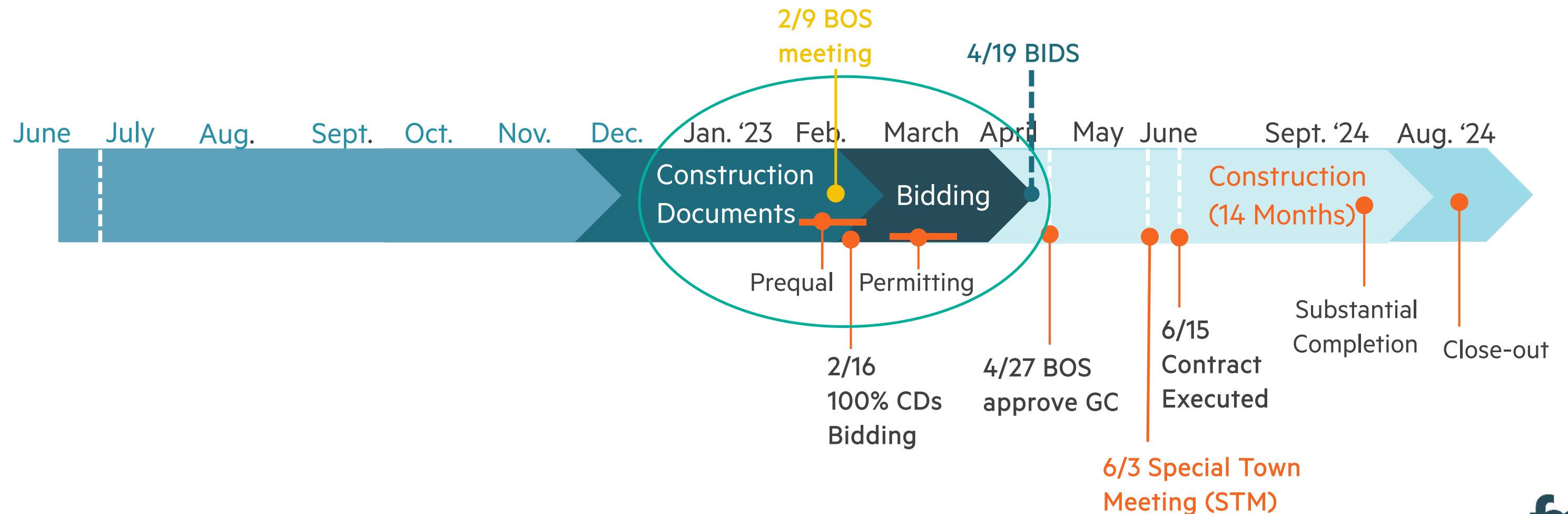
- 2/16 - FM issue Bid Docs to BDO
- 2/22 - BDO review to FM
- 3/1 – Bid Published Online
- 3/8 – Pre Bid Conference (target)

FSB Bid Schedule:

- 3/15 – FSB RFI deadline
- 3/22 – FSB addenda deadline
- 3/29 – FSB bids due

GC Bid Schedule:

- 4/5 – GC RFI deadline
- 4/12 – GC addenda deadline
- 4/19 – GC bids due



Re-Prequal / Re-Bidding Schedule



Town of Dover

Dover Community Center Project

○ Owner Meeting

◆ Major Milestone

I. Re-VE, Re-Prequal & Re-Bid		November 30, 2022 thru June 3, 2023		
1	CPL & FMA execute Add-Service proposals with the Town		1-Dec-22 thru	15-Dec-22
2	FMA VE Scope Effort and Bid Docs Production		15-Dec-22 thru	16-Feb-23
3	Contractor Prequal Committee Meeting and Finalize RFQ		4-Jan-23	
4	Contractor RFQ goes Live		11-Jan-23	
5	Contractor SOQ's Due		1-Feb-23	
6	Contractor Prequal Committee Meeting to Distribute SOQs		2-Feb-23	
7	Contractor Prequal Committee Meeting (Progress/As Needed)		15-Feb-23	
8	Completion of Prequal / Notify Contractors of Results		22-Feb-23	
9	Bid Docs Live	◆	1-Mar-23	
10	PreBid Walkthrough		8-Mar-23	
11	Filed Sub Bidding RFI Deadline		15-Mar-23	
12	Filed Sub Bidding Addendum Deadline		22-Mar-23	
13	Filed Sub Bids Due	◆	29-Mar-23	
14	GC Bidding RFI Deadline		5-Apr-23	
15	GC Bidding Addendum Deadline		12-Apr-23	
16	GC Bids Due	◆	19-Apr-23	
17	Building Committee Meeting to Approve GC Bidder	○	26-Apr-23	
18	Board of Selectmen Meeting to Recommend GC Bidder	○	27-Apr-23	
19	Special Town Meeting	◆	3-Jun-23	

Re-Prequal

Re-Bidding

/ Base Design – Dover Community Center



VE Guidelines

As Determined - Nov. 21st 2022:

1. Value Engineering includes only items that could be amended in Bid-Documents and be ready for a June 3rd 2023 Special Town Meeting (STM).
2. Project must include the Design voted on at the June 12, 2021 STM with little to no reduction of the size of the building.
3. Programmatic functions and use functionality must also be preserved and remain as designed.
4. Criteria for Success and other town/user group values and needs to be considered for any/all VE cuts in contention / being considered.



Program Overview

Design / Program Highlights:

20,000 SF interior space

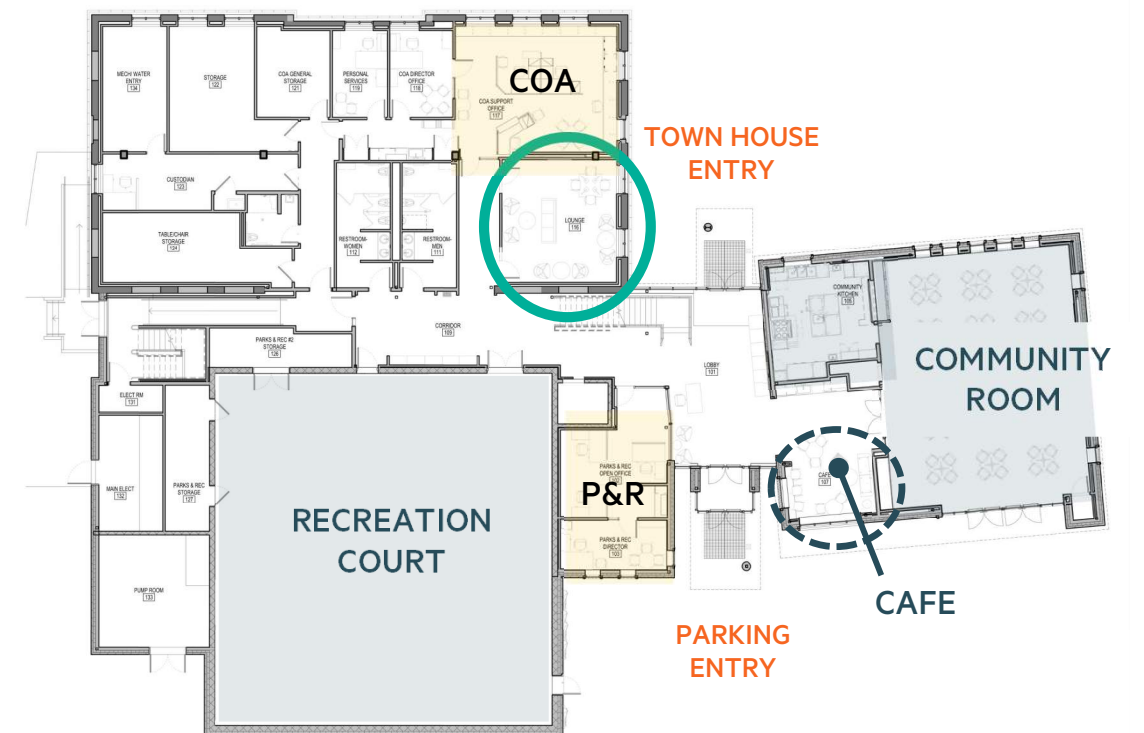
- Community Room with AV, adjacent kitchen and food serving facilities
- Offices for Council of the Aging and Parks & Recreation
- Café for building users
- Flexible rooms for varied programs
- Recreation Court
- Movement Studio
- Parent/child Waiting and Play Area
- Fully ADA accessible (including both entrances)

Exterior

- Patio adjacent to the Community Room
- Exterior Recreation Court w/ Play Area
- Drop-off zone with Waiting Area



Second Floor Plan



First Floor Plan

Potential VE Items

Per Nov 2022 meeting

VE: effort requiring more than 3 months

VE Items (Bid Document Changes) from the Peer review/report, that could not be made in time for a Special Town Meeting in June 2023:

- ☐ **Structural Frame Modifications*** (Steel to Wood)
- ☐ **Exterior Façade Cladding** (Brick to Hardie Board)
- ☐ **Community Room Detailing**
- ☐ **Delete Glass Monitor**
- ☐ **Parking Lot Relocation**
- ☐ **Parking Lot Reconfiguration**
- ☐ **Roof Changes; structural, roof shapes, materials**

Notes:

Considering any of these changes (in full) would have meant requiring a November 2023 STM.

* Concession to be studied: only metal stud framing to wood stud framing to be studied and could be considered for June 2023 STM, see list to the right.

VE: 2 month effort and/or requiring more study

VE items determined at the Nov. 2022 meeting to either require more study or can be made in time for a Special Town Meeting in June 2023:

1. **Metal Stud Framing to Wood Stud Framing ***
2. **Window Frame Modifications** (Aluminum to Fiberglass)
3. **Site Furniture** (Remove – for Fundraising)
4. **Exterior Recreation Court** (Becomes Add/Alt)
5. **Landscape Planting Reductions** (Remove – for Fundraising)
6. **HVAC Modifications** (To be studied)
7. **Electrical Modifications** (To be studied)
8. **Lighting Modifications** (To be studied)
9. **Plumbing Modifications** (To be studied)
10. **Existing 1910; Roof Replacement** (To be deferred)
11. **Existing 1910; 2nd Story Window Replacement** (To be deferred)
12. **Stone Seat Walls** (Remove in full or in part)
13. **Folding Partition** (Remove in full or in part)
14. **Vertical Plant Trellis** (Remove – for Fundraising)
15. **Movement Studio Sprung Floor** (Remove)
16. **Generator Size** (To be studied)
17. **Site Walkway** (Remove)

Potential VE Items

Summary – High Value vs. Low Value

High Value:

High Value; is relatively good cost savings in respect to resulting trade-offs

- Do not significantly impact design or project mission and can easily be fundraised

✖ **Vertical Planted Trellis** – *Remove scope*
Add to Fundraising

✖ **Site Walkway** – *Remove scope*

✖ **Stone Seat Walls** – *Remove majority of scope*

✖ **Site Furniture** – *Cut scope*
Add to Fundraising

✖ **Exterior Recreation Court** – *Add/Alternate*

✖ **Landscape Material Reduction** – *Reduce scope*
Add to Fundraising

✖ **Window Frame Modifications:** - *Change scope*

✖ **Lighting Modifications** – *Modifications to scope*

✖ **Eliminate Voice Evacuation on Fire Alarm**– *Change scope*

✖ **Play Area** – *Add/Alternate*

✖ **Plumbing Modifications**– *Modifications to scope*

Low Value:

Low Value; is relatively low cost savings in respect to resulting trade-offs

- Do significantly impact design or project mission
- Defers maintenance items and includes larger VE items requiring significant demolition to pursue in the future

☐ **Existing Roofing on 1910 Building**

☐ **Existing 1910; 2nd Story Window Replacement**

☐ **Folding Partition**

☐ **Movement Studio Sprung Floor**

☐ **Metal Stud to Wood Stud Framing**
Interior 1910 Framing Only

☐ **Electrical Modifications**

☐ **Generator Size**

VE Items

per Nov 2022 meeting - analysis

Investigated – found to have High Value

VE Item:	Determination after study - Bid Doc Revision			Savings	Notes:
Vertical Planted Trellis	Remove from scope, can be fundraised and added later			\$20,000	
Site Walkway	Remove from scope, can be fundraised and added later			\$50,000	
Stone Seat Walls	(3) Removed from scope, (1) can be retained at Patio			\$42,000	
Site Furniture	Remove from scope, can be fundraised and added later			\$45,000	
Exterior Recreation Court	Revised in Bid Documents to be an Add/Alt			\$60,000	Savings reduced for off set in lawn and overflow parking
Landscape Material Reduction	Remove from scope, can be fundraised and added later			\$20,000	
Window Frame Modifications	Revised in Bid Documents to be an Add/Alt (fundraising)			\$40,000	Improves energy efficiency and simplifies bidding (1 less FSB)
Lighting Modifications	Revise Bid Documents; simple modifications can be taken			\$10,000	
Eliminate Voice Evacuation on Fire Alarm	Remove Voice Evac. - Not required by code			\$15,000	
Play Area (Adding Back as Add/Alt)	Add back to scope as an Add/Alt (fundraising)			\$49,000	Savings reduced for off set in lawn
Plumbing Modifications	Revise Bid Documents; simple modifications can be taken			\$5,000	

Requires Nov. '23 STM

VE Item:	Determination after study				Notes:
Structural Frame Modifications (Steel to Wood)	Requires Nov. '23 STM				Concession studied; only interior stud framing changed to wood
Exterior Façade Cladding	Requires Nov. '23 STM				
Delete Glass Monitor	Requires Nov. '23 STM				
Parking Lot Relocation	Requires Nov. '23 STM				
Parking Lot Reconfiguration	Requires Nov. '23 STM				
Roof Changes; struct, roof shapes & materials	Requires Nov. '23 STM				
Change to Community Room Structure	Requires Nov. '23 STM				
HVAC Modifications	Requires Nov. '23 STM, Saving neutral, code implications				With study; revisions available require a Nov. '23 STM

VE Items

per Nov 2022 meeting - analysis

Investigated – found to have Low Value

Bid Document Change for VE item:	Determination after study = Low Value			Savings	Notes:
Existing Roofing on 1910 Building - Modify scope; existing ro remain @ 70% of roof	Deferring longevity / maintenance item is contrary to criteria for success. Creates additional risk with new and			\$52,500	30% of 1910 roofing will still require replacement, with 2 different aged roofs needing to be tied together.
Existing 1910; 2nd Story Window Replacement - Modify scope for existing ro remain	Deferring longevity / maintenance item is contrary to criteria for success.			\$66,000	Project would loose efficiencies with changing all other windows to fiberglass and have multiple types of windows on the project
Folding Partition - Remove from scope	Program flexibility included in criteria for success. Removing partition significantly impacts program flexibility.			\$35,000	Project would have only have 1 flex space instead of 2 (determined per program).
Movement Studio Sprung Floor - Remove from scope	Program of movement studio to be a space appropriate for many types of movement and age groups included in criteria for success. Removing the sprung floor would impage this function.			\$20,000	Savings is also limited due to the floor level requiring to be built up to meet new construction anyhow.
Metal Stud to Wood Stud Framing - Interior Framing only - Possible at the 1910 Building only	Significant risk with a-typical details and possibly introducing less competativeness with bids outweigh the limited savings that it could yeild.			\$5,000	Framing can only be changed for interior studs at the 1910 building and would require special / a-typical details to accomplish (potentially canceling out any savings in actuality).
Electrical Modification - Reduce switchboard size	Town request for Future PV would require being eliminated			\$6,000	Would require removing future PV accommodation
Generator Size - Modify scope; a.) Redesign / add distribution panel(s) = sf b.) Reduce fuel capacity (42hrs to 24hrs)	Town request for the facility to be able to function for a few consecutive days in an emergency. Storage and program areas at current size (sf) meet program requirements.			\$2,000	To reduce the Generator from 250Kw to 200Kw will require a redesign of the electrical and require finding additional interior SF for added panel(s) whose costs offset <i>any</i> savings. Savings available would require a fuel capacity reduction to 24hrs.

Window Frame Modifications

Bid Docs Change; Aluminum to Fiberglass Windows

High Value

2022 Bid Docs:

➤ All *new* aluminum frame windows at all punched openings (new and existing)

Change Meets Design Criteria:

➤ Yes; Criteria set to establish energy efficiency with new and existing building envelopes

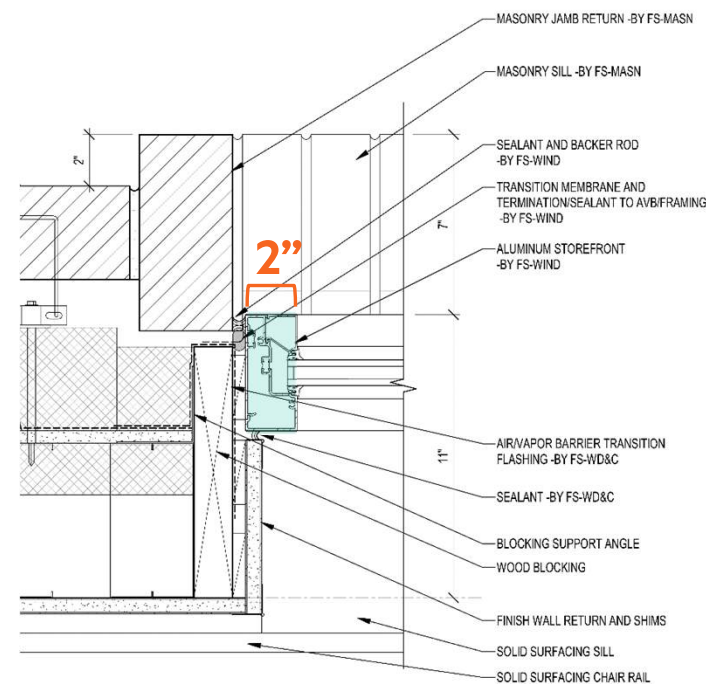
Value (with change):

➤ High Value; w/ Fiberglass windows highly energy efficient, eliminates metal windows as a Filed Sub Bid

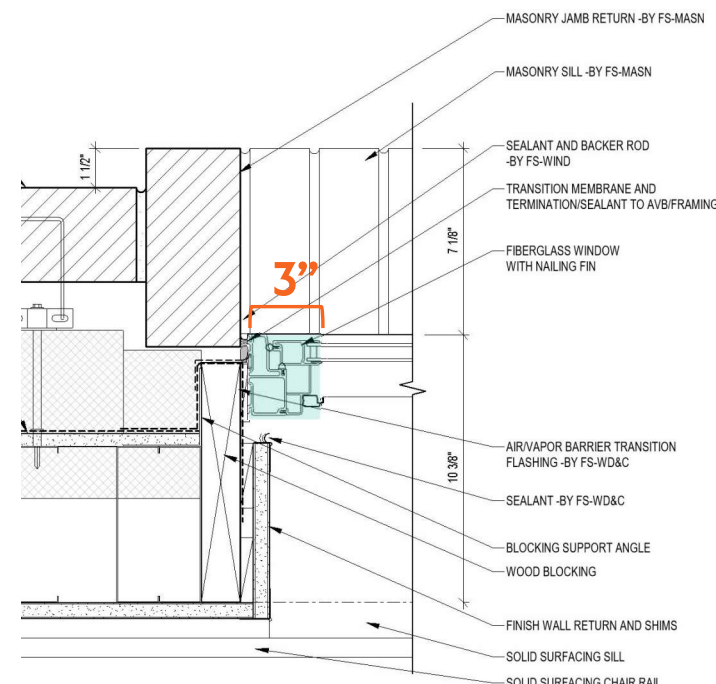
Savings Anticipated:

➤ \$40,000 +/-

➤ Currently; Changes are being made to Bid Documents to incorporate this change for a June 2023 STM



Aluminum Frame



Fiberglass Frame



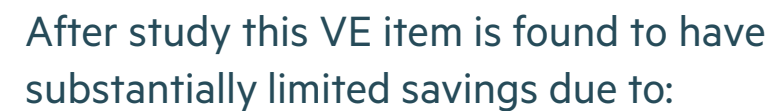
Low Value

2022 Bid Docs:

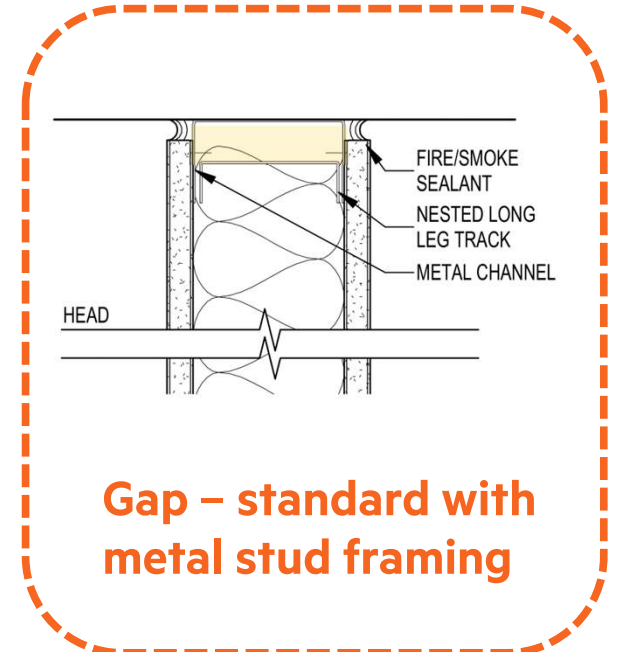
Value (with change):

Savings Anticipated:

- ## Supporting images (with notes)



- Would require custom slip track or atypical detailing to “gap the wall” at the top (as to not become a bearing wall condition). Open to additional risk with atypical conditions.
- Height is limiting for wood (seasonal movement)
- Might mean two framing crews on site, limiting bidding pool
- Structural, Specification Writer and Estimator all recommend not pursuing



Items to be confirmed

Bid Alternates (proposed as Add Alternates)

Determine order and scope to include in each Add/Alt number

In Consideration:

- ☐ Exterior Recreation Court – Add/Alternate
- ☐ Play Area – Add/Alternate
- ☐ (3) Additional Stone Seat Walls – 3 Stone Seat Walls added back to scope as an Add/Alt

Combined Exterior Recreation Court with Play Area?

Leave (3) Stone Seat Walls as cut from scope?

Confirm no change to scope for Low Value Items

Low Value; is relatively low cost savings in respect to resulting trade-offs

- ☐ Existing Roofing on 1910 Building
 - Keep as New Roofing in Bid Docs
- ☐ Existing 1910; 2nd Story Window Replacement
 - Keep as all New Windows in Bid Docs
- ☐ Folding Partition – Keep in project
- ☐ Movement Studio Sprung Floor – Keep in project
- ☐ Metal Stud Framing to Wood Stud Framing
 - Keep Metal Stud Framing in Bid Docs
- ☐ Electrical Modifications
 - Retain future accommodation for PV & 1600A switchboard
- ☐ Generator Size
 - Reduce Generator Fuel Capacity; 42hrs to 24hrs
- ☐ Eliminate Voice Evacuation on Fire Alarm
 - Owner Preference (not required by code)